

CERTIFICATE OF OWNERSHIP AND DEDICATION  
 STATE OF TEXAS  
 COUNTY OF BRAZOS  
 I, John William Slade, Vice President of Traditions Acquisition Partnership GP, LLC, a Texas limited liability company, the General Partner of Traditions Acquisition Partnership, L.P., a Texas limited partnership, the owner and developer of the land shown on this plat, being the tracts of land as conveyed to us in the Official Public Records of Brazos County in Volume 13746 and Page 278, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, watercourses, drains, easements and public utilities (except those known for the purpose identified).

STATE OF TEXAS  
 COUNTY OF BRAZOS  
 Before me, the undersigned authority, on this day personally appeared John William Slade, known to me to be the person(s) whose name(s) is/are subscribed to the foregoing instrument, and acknowledged to me that he or she executed the same for the purpose stated.  
 Given under my hand and seal on this 18 day of August, 2023.

Jessica Huckaby  
 Notary Public, State of Texas  
 Commission Expires 03-29-2027  
 Notary ID 134279341

APPROVAL OF THE CITY PLANNER  
 I, Mark Zimmerman, the undersigned, City Planner and/or designated Secretary of the Planning and Zoning Commission of the City of Bryan, hereby certify that this plat is in compliance with the appropriate codes and ordinances of the City of Bryan and was approved on the 12 day of September, 2023.

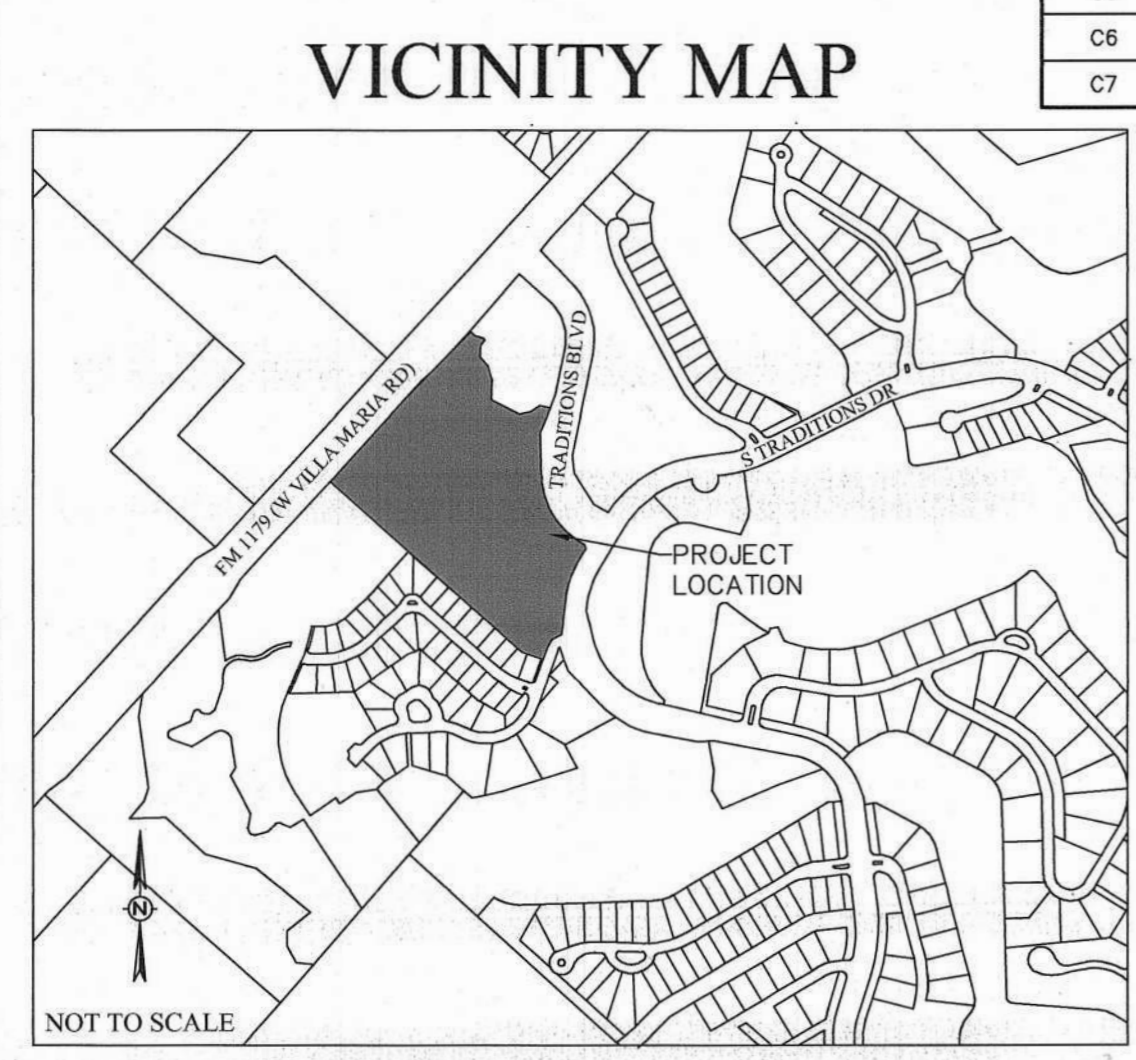
APPROVAL OF THE CITY ENGINEER  
 I, Michael Konetaki, the undersigned, City Engineer of the City of Bryan, hereby certify that this plat is in compliance with the appropriate codes and ordinances of the City of Bryan and was approved on the 13 day of September, 2023.

CERTIFICATION OF THE SURVEYOR  
 STATE OF TEXAS  
 COUNTY OF BRAZOS  
 I, Michael Konetaki, Registered Professional Land Surveyor No. 6531, in the State of Texas, hereby certify that this plat is true and correct and was prepared from an actual survey of the property and that the property markers and monuments were placed under my supervision on the ground, and that the metes and bounds describing said subdivision will describe a closed geometric form.

Filed for Record  
 Official Public Records Of:  
 Brazos County Clerk  
 On: 9/5/2023 8:33:30 AM  
 In the PLAT Records  
 Doc Number: 2023-1511063  
 Volume - Page: 18828-298  
 Number of Pages: 2  
 Amount: 73.00  
 Order#: 2023090500017  
 By: MO

County Clerk  
 Brazos County, Texas  
 Deputy Clerk

ORIGINAL PLAT  
 VOL. 15000 PG. 139



Curve Table

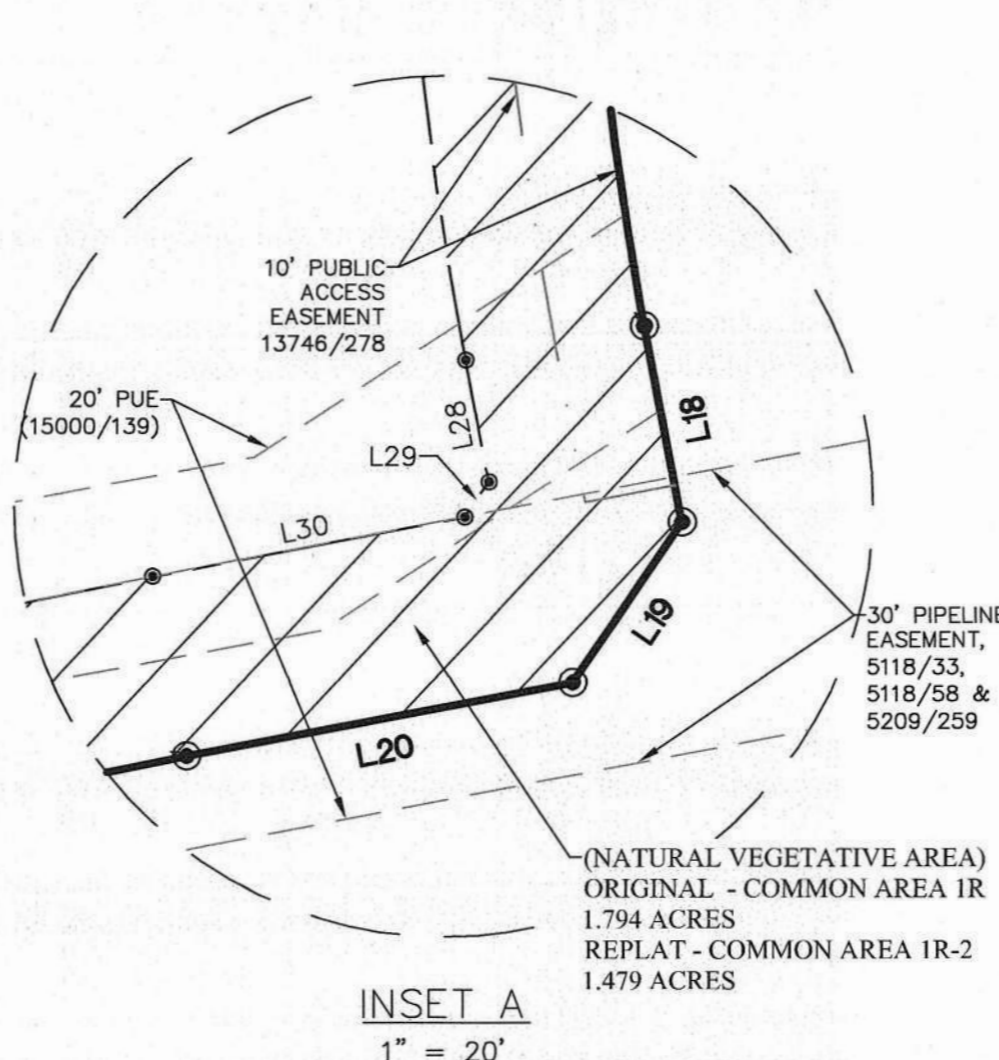
CURVE #	LENGTH	RADIUS	DELTA	TANGENT	CHORD	CHORD DIRECTION
C1	364.51'	369.96'	056°27'09"	198.59'	349.95'	S30°31'53"E
C2	228.06'	524.94'	024°53'30"	115.86'	226.27'	S18°47'47"W
C3	96.28'	115.54'	047°44'51"	51.14'	93.52'	S43°44'02"W
C4	69.08'	389.96'	01°08'50"	34.62'	68.97'	N07°22'44"W
C5	249.08'	389.96'	036°35'47"	128.95'	244.87'	N40°27'34"W
C6	236.75'	544.94'	024°53'30"	120.27'	234.89'	N18°47'47"E
C7	100.79'	135.54'	042°36'31"	52.86'	98.49'	N41°09'52"E

LINE TABLE

LINE #	LENGTH	DIRECTION
L1	100.49'	N48° 05' 04"E
L2	31.82'	S44° 30' 31"E
L3	40.41'	S73° 42' 31"E
L4	10.61'	S36° 26' 37"E
L5	30.76'	S37° 54' 11"W
L6	54.13'	S2° 38' 52"W
L7	51.51'	S42° 53' 51"E
L8	67.55'	S17° 36' 00"E
L9	37.70'	S5° 34' 57"W
L10	53.43'	S0° 26' 42"E
L11	42.95'	S48° 30' 13"E
L12	44.34'	S62° 54' 05"E
L13	56.88'	S75° 07' 28"E
L14	54.42'	N77° 24' 52"E
L15	49.47'	N58° 38' 30"E
L16	47.31'	S78° 40' 53"E
L17	122.56'	S22° 37' 48"W
L18	21.85'	S58° 45' 28"E
L19	21.21'	S1° 45' 28"E
L20	43.12'	S31° 14' 32"W

LINE TABLE

LINE #	LENGTH	DIRECTION
L21	133.11'	S6° 21' 02"W
L22	56.17'	S19° 51' 36"W
L23	95.99'	N70° 08' 24"W
L24	122.98'	N22° 37' 48"E
L25	79.25'	N72° 35' 02"E
L26	66.01'	N16° 23' 19"W
L27	80.30'	S72° 35' 02"W
L28	13.56'	N58° 45' 28"W
L29	4.64'	N13° 45' 28"W
L30	34.83'	N31° 14' 32"E
L31	121.89'	N8° 21' 02"E
L32	36.17'	N19° 51' 36"E
L33	72.17'	S70° 08' 24"E
L34	100.51'	S48° 05' 04"W
L35	100.50'	S48° 05' 04"W



- NOTES:
- COORDINATES AND BEARING SYSTEM SHOWN HEREON IS NAD83 (TEXAS STATE PLANE CENTRAL ZONE GRID NORTH) BASED ON THE PUBLISHED COORDINATES OF THE CITY OF COLLEGE STATION CONTROL MONUMENT CS94-164 (N: 10207269.050 E: 3541253.110) AND AS ESTABLISHED FROM GPS OBSERVATION, CM - CONTROLLING MONUMENT FOUND AND USED TO ESTABLISH PROPERTY LINES.
  - DISTANCES SHOWN HEREON ARE GRID DISTANCES UNLESS OTHERWISE NOTED. TO OBTAIN SURFACE DISTANCES MULTIPLY BY A COMBINED SCALE FACTOR OF 1.00010931194.
  - DISTANCES SHOWN ALONG CURVES ARE CHORD LENGTHS.
  - NO PORTION OF THIS TRACT IS WITHIN THE 100 YEAR FLOODPLAIN ACCORDING TO THE F.E.M.A. FLOOD INSURANCE RATE MAP FOR BRAZOS COUNTY AND INCORPORATED AREAS, MAP NO. 4804102295C, EFFECTIVE DATE: MAY 16, 2012.
  - 1/2" INCH IRON RODS FOUND WITH YELLOW PLASTIC CAPS STAMPED "KERR 4502" AT ALL CORNERS UNLESS OTHERWISE NOTED.
  - ZONING FOR THIS TRACT IS PLANNED DEVELOPMENT - MIXED USE DISTRICT (PD-M) AS DEFINED IN ORDINANCE NO. 2637, APPROVED BY THE BRYAN CITY COUNCIL JULY 11, 2023.
  - ALL LOTS WILL MEET SETBACK AND OTHER REQUIREMENTS AS SPECIFIED IN THE CITY OF BRYAN DEVELOPMENT ORDINANCE FOR THE ZONING CLASSIFICATION IN WHICH THEY LAY.
  - ALL PUBLIC DRAINAGE EASEMENTS WILL BE IMPROVED ACCORDING TO THE DRAINAGE POLICY AND DESIGN STANDARDS.
  - THE PRIVATE DRAINAGE EASEMENTS WILL BE MAINTAINED BY THE LOT OWNERS OR THE HOA, HOMEOWNERS ASSOCIATION, FENCES, GRADING AND LANDSCAPING CANNOT IMPEDE THE FLOW IN THE PRIVATE DRAINAGE EASEMENT.
  - ELECTRIC SERVICE AND STREET LIGHTING FOR THIS SUBDIVISION WILL BE PROVIDED BY BRYAN TEXAS UTILITIES (BTU).
  - THE WATER SUPPLIER FOR THIS DEVELOPMENT IS THE CITY OF BRYAN. THE WATERLINES WILL BE DESIGNED AND CONSTRUCTED TO CITY OF BRYAN SPECIFICATIONS AND STANDARDS AND WILL BE LOCATED IN UTILITY EASEMENTS AT THE FRONT OF THE RESIDENTIAL LOTS. THESE WATERLINES WILL PROVIDE THE REQUIRED FLOW TO FIRE HYDRANTS TO MEET FIRE PROTECTION REQUIREMENTS.
  - A WATER DESIGN REPORT FOR THIS SUBDIVISION WILL BE PROVIDED PER CITY STANDARDS.
  - THE PURPOSE OF THIS REPLAT IS TO ADD PUBLIC UTILITY, ELECTRICAL AND COMMUNICATIONS EASEMENT.
  - TREES ARE NOT TO BE LOCATED WITHIN THE PUBLIC UTILITY EASEMENTS. ANY TREES PLANTED IN THE PUBLIC UTILITY EASEMENT SHALL BE RELOCATED.
  - WHERE ELECTRIC FACILITIES ARE INSTALLED, BTU HAS THE RIGHT TO INSTALL, OPERATE, RELOCATE, CONSTRUCT, RECONSTRUCT, ADD TO, MAINTAIN, INSPECT, PATROL, ENLARGE, REPAIR, REMOVE AND REPLACE SAID FACILITIES UPON, OVER, UNDER, OR ACROSS THE PROPERTY INCLUDED IN THE PUE, AND THE RIGHT OF INGRESS AND EGRESS ON PROPERTY ADJACENT TO THE PUE TO ACCESS ELECTRIC FACILITIES.
  - EXISTING INFRASTRUCTURE SHOWN HEREON WAS NOT LOCATED BY KERR SURVEYING.

## FINAL PLAT

### THE TRADITIONS SUBDIVISION

#### PHASE 19

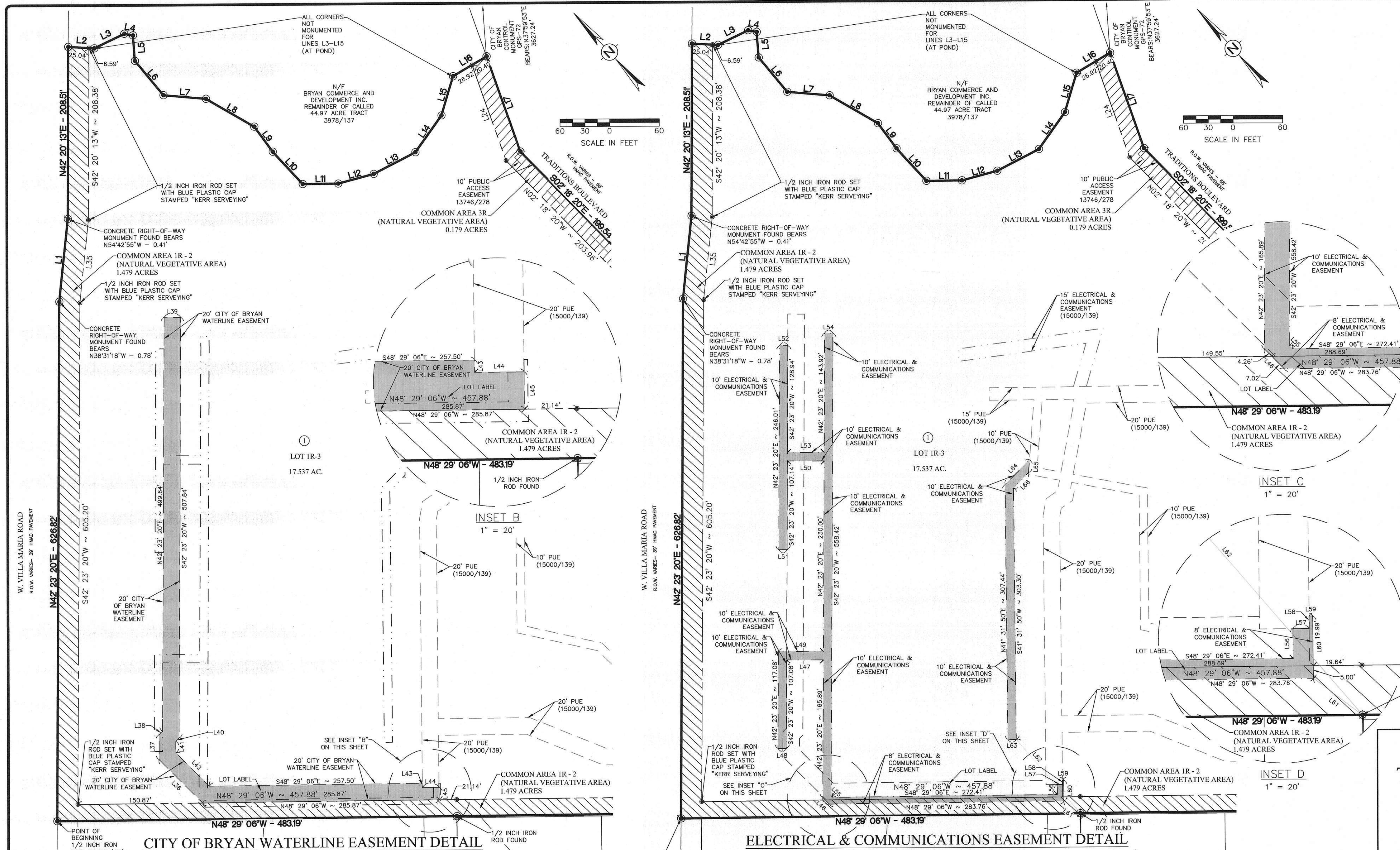
19.315 ACRES  
 BLOCK 1, LOT 1R-3 & COMMON AREAS 1R-2, 2R & 3R  
 BEING A  
**REPLAT**  
 OF  
 THE TRADITIONS SUBDIVISION  
 PHASE 19

BLOCK 1, LOT 1R-2 & COMMON AREAS 1R, 2R & 3R  
 VOL. 15000 PG. 139  
 THOMAS J. WOOTEN LEAGUE, A-59  
 BRYAN, BRAZOS COUNTY, TEXAS

SCALE AS SHOWN  
 AUGUST, 2023

<b>OWNER/DEVELOPER:</b> TRADITIONS ACQUISITION PARTNERSHIP, LP 3131 Club Dr. Bryan, TX 77807 (281) 734-1508	<b>SURVEYOR:</b>  Kerr Surveying, LLC 409 N. Texas Ave. Bryan, TX 77803 (979) 268-3195 TBPELS FIRM # 10018500 SURVEYS@KERRSURVEYING.NET JOB 23-484	<b>ENGINEER:</b>  TBPE No. 12327 8111 SOUTHWEST PKWY E. College Station, Texas 77840 (979) 764-3900
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SHEET 1 OF 2



A FIELD NOTES DESCRIPTION OF 19.315 ACRES IN THE THOMAS J. WOOTEN LEAGUE SURVEY, ABSTRACT 59, IN BRYAN, BRAZOS COUNTY, TEXAS, BEING ALL OF LOT IR-2 & COMMON AREAS 1R, 2R & 3R, BLOCK 1, THE TRADITIONS SUBDIVISION PHASE 19 AS DEPICTED ON THE PLAT FILED IN VOLUME 15000, PAGE 139 OF THE OFFICIAL PUBLIC RECORDS OF BRAZOS COUNTY, TEXAS (OPR/CT); SAID 19.315 ACRES BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

**BEGINNING** at a 1/2 inch iron rod found on the southeast line of W. Villa Maria Road (variable width right-of-way) marking the north corner of a called 19.235 acre tract conveyed to Tap Land Development Company, LLC (1835952 OPR/CT) and the west corner of said Common Area 1R;

**THENCE**, along the southeast line of W. Villa Maria Road (right-of-way width varies) for the following three (3) courses and distances:

- 1) N 42° 23' 20" E a distance of 626.82 feet to an angle point from which a concrete right-of-way monument found bears N 38° 31' 18" W a distance of 0.78 feet;
- 2) N 48° 05' 04" E a distance of 100.49 feet to an angle point from which a concrete right-of-way monument bears N 54° 42' 55" W a distance of 0.41 feet;
- 3) N 42° 20' 13" E a distance of 208.31 feet to a 1/2 inch iron rod found with yellow plastic cap stamped "KERR 4502" marking the west corner of the remainder of a called 44.97 acre tract conveyed to Bryan Commerce and Development Inc. (3978/137 OPR/CT) and the north corner hereof;

**THENCE**, with the common boundary of said remainder of 44.97 acre tract and said 19.315 acre tract for the following fifteen (15) courses and distances:

- 1) S 44° 30' 31" E a distance of 31.62 feet to an angle point;
- 2) S 73° 42' 31" E a distance of 40.41 feet to an angle point;
- 3) S 36° 26' 37" E a distance of 10.61 feet to an angle point;
- 4) S 37° 54' 11" E a distance of 38.76 feet to an angle point;
- 5) S 82° 38' 52" W a distance of 54.13 feet to an angle point;
- 6) S 42° 53' 51" E a distance of 51.51 feet to an angle point;
- 7) S 17° 56' 00" E a distance of 67.55 feet to an angle point;
- 8) S 65° 34' 57" W a distance of 37.70 feet to an angle point;
- 9) S 80° 26' 42" E a distance of 53.43 feet to an angle point;
- 10) S 48° 30' 13" E a distance of 42.95 feet to an angle point;
- 11) S 62° 54' 05" E a distance of 44.34 feet to an angle point;
- 12) S 78° 07' 28" E a distance of 56.88 feet to an angle point;
- 13) N 77° 24' 52" E a distance of 54.42 feet to an angle point;
- 14) N 58° 38' 30" E a distance of 49.47 feet to an angle point;
- 15) S 78° 40' 53" E a distance of 47.31 feet to a 1/2 inch iron rod found with yellow plastic cap stamped "KERR 4502" on the west right-of-way of Traditions Boulevard (variable width right-of-way); for reference, the City of Bryan control monument GPS-72 bears N 37° 59' 53" E a distance of 3,627.24 feet;

**THENCE**, with said west right-of-way of Traditions Boulevard for the following five (5) courses and distances:

- 1) S 22° 37' 48" W a distance of 122.56 feet to a 1/2 inch iron rod found with yellow plastic cap stamped "KERR 4502";
- 2) S 02° 18' 20" E a distance of 199.54 feet to an "X" found in concrete marking a point of curvature;
- 3) With a tangent curve to the left having a radius of 369.96 feet, an arc length of 364.51 feet, a delta angle of 56° 27' 09", and a chord which bears S 30° 31' 53" E a distance of 349.95 feet to a 1/2 inch iron rod found with yellow plastic cap stamped "KERR 4502" marking a point of tangency;
- 4) S 88° 45' 28" E a distance of 21.85 feet to a 1/2 inch iron rod found with yellow plastic cap stamped "KERR 4502";
- 5) S 13° 45' 28" E a distance of 21.21 feet to a 5/8 inch iron rod found;

**THENCE**, with the west right-of-way of South Traditions Drive for the following three (3) courses and distances:

- 1) S 31° 14' 32" W a distance of 43.12 feet to a 5/8 inch iron rod found marking a point of curvature;
- 2) With a tangent curve to the left having a radius of 524.94 feet, an arc length of 228.06 feet, a delta angle of 24° 53' 30", and a chord which bears S 18° 47' 47" W a distance of 226.27 feet to a 1/2 inch iron rod found with yellow plastic cap stamped "KERR 4502" marking a point of tangency;
- 3) S 06° 21' 02" W a distance of 133.11 feet to a point at the intersection of said west right-of-way of S. Traditions Drive with the northwest right-of-way of Blue Belle Drive (50 foot right-of-way, 11012/219 OPR/CT) from which a 1/2 inch iron rod found bears S 46° 35' 32" W a distance of 0.32 feet;

**THENCE**, with said northwest right-of-way of Blue Belle Drive for the following two (2) courses and distances:

- 1) With a non-tangent curve to the left having a radius of 115.54 feet, an arc length of 96.28 feet, a delta angle of 47° 44' 51", and a chord which bears S 43° 44' 02" W a distance of 93.52 feet to a 1/2 inch iron rod found marking a point of tangency;
- 2) S 19° 51' 36" W a distance of 56.17 feet to an "X" found in concrete marking the northeast corner of a 7.5' Common Area (11730161 OPR/CT) and the south corner hereof;

**THENCE**, with the northeast lines of said 7.5' Common Area and Lots 1 and 2, Block 1, The Traditions Phase 20B, N 70° 08' 24" W a distance of 95.99 feet to a 1/2 inch iron rod found;

**THENCE**, with the northeast line of a 2' Common Area (11730161 OPR/CT), N 48° 27' 59" W a distance of 695.73 feet to a 1/2 inch iron rod found marking the north corner of said Common Area, the east corner of said 19.235 acre tract (1835952 OPR/CT);

**THENCE**, with the northeast line of said 19.235 acre tract, N 48° 29' 06" W a distance of 483.19 feet to the POINT OF BEGINNING hereof and containing 19.315 acres of land, more or less.

## FINAL PLAT THE TRADITIONS SUBDIVISION PHASE 19 19.315 ACRES BLOCK 1, LOT IR-3 & COMMON AREAS 1R-2, 2R & 3R BEING A REPLAT OF THE TRADITIONS SUBDIVISION PHASE 19 BLOCK 1, LOT IR-2 & COMMON AREAS 1R, 2R & 3R VOL. 15000 PG. 139 THOMAS J. WOOTEN LEAGUE, A-59 BRYAN, BRAZOS COUNTY, TEXAS SCALE AS SHOWN AUGUST, 2023

**OWNER/DEVELOPER:**  
TRADITIONS ACQUISITION  
PARTNERSHIP, LP  
Bryan, TX 77807  
(281) 734-1508

**SURVEYOR:**  
KERR SURVEYING, L.L.C.  
409 N. TEXAS AVE.  
BRYAN, TX 77803  
(979) 268-3195  
SURVEYS@KERRSURVEYING.NET  
JOB 23-484

**ENGINEER:**  
SCHULTZ  
TPE NO. 12327  
911 SOUTHWEST PKWY E.  
COLLEGE STATION, TEXAS 77840  
(979) 764-9800

SHEET 2 OF 2

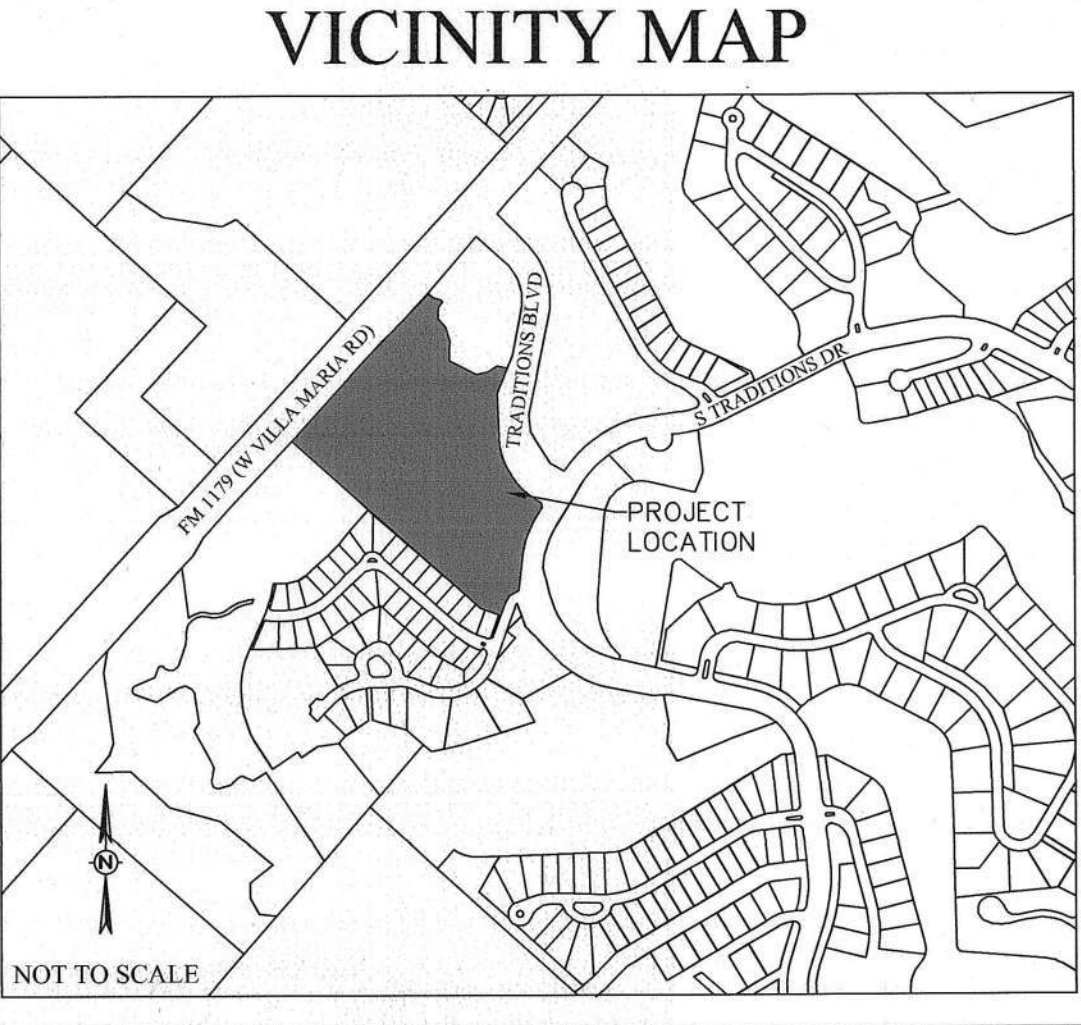
LINE #	LENGTH	DIRECTION
L1	100.49'	N48° 05' 04"E
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L29	4.64'	N13° 45' 28"W
L30	34.83'	N31° 14' 32"E
L31	121.89'	N6° 21' 02"E
L32	36.17'	N19° 51' 36"E
L33	72.17'	S70° 08' 24"E
L34	100.51'	S48° 05' 04"W
L35	100.50'	S48° 05' 04"W
L36	74.19'	N3° 02' 20"W
L37	30.00'	N42° 23' 20"E
L38	5.70'	N86° 57' 40"E
L39	20.00'	S47° 36' 40"E
L40	5.70'	S86° 57' 40"W

LINE #	LENGTH	DIRECTION
L41	13.43'	S42° 23' 20"W
L42	57.44'	S3° 02' 20"E
L43	5.00'	S41° 31' 50"W
L44	20.00'	S48° 28' 10"E
L45	14.99'	S41° 31' 50"W
L46	11.28'	N3° 02' 20"W
L47	44.50'	N47° 36' 40"W
L48	10.00'	N47° 37' 10"W
L49	54.50'	S47° 36' 40"E
L50	44.50'	N47° 35' 42"W
L51	10.00'	N47° 36' 40"W
L52	10.00'	S47° 53' 53"E
L53	44.50'	S47° 38' 11"E
L54	10.00'	S47° 36' 40"E
L55	1.77'	S3° 02' 20"E
L56	11.99'	N41° 32' 00"E
L57	6.50'	S48° 28' 10"E
L58	5.00'	N41° 31' 50"E
L59	1.50'	S48° 28' 10"E
L60	24.99'	S41° 32' 00"W

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C7	100.79'	135.54'	042°36'31"	52.86'	98.49'	N41°09'52"E

LINE #	LENGTH	DIRECTION
L61	24.72'	N11° 07' 07"W
L62	118.17'	S1° 05' 29"W
L63	10.00'	N48° 28' 10"W
L64	41.94'	N86° 31' 50"E
L65	15.55'	S46° 31' 21"W
L66	25.88'	S86° 31' 50"W



**LEGEND**

- PROPERTY BOUNDARY
- RIGHT OF WAY
- LOT LINE
- PROPOSED PUBLIC UTILITY EASEMENT (P.U.E.)
- PROPOSED ELECTRICAL & COMMUNICATIONS EASEMENT
- EXISTING PUBLIC UTILITY EASEMENT (P.U.E.)
- EXISTING ELECTRICAL & COMMUNICATIONS EASEMENT
- EXISTING PUBLIC ACCESS EASEMENT (P.A.E.)
- PROPOSED COMMON AREA
- EXISTING COMMON AREA
- LOT CORNER - 1/2" IRON ROD SET WITH BLUE PLASTIC CAPS STAMPED "KERR SURVEYING"
- BLOCK LABEL
- CONTROLLING MONUMENT FOUND AND USED TO ESTABLISH PROPERTY LINES
- OFFICIAL PUBLIC RECORDS OF BRAZOS COUNTY, TEXAS
- RECORDING INFORMATION
- RIGHT-OF-WAY